



Staff Report

TO: Board of Harbor Commissioners

FROM: John Moren, Director of Operations

DATE: October 18, 2017

SUBJECT: Pillar Point Harbor Parking Lot A2/A3 Repair Project, Contract No. 2017-14 Bid Acceptance Authorization

Recommendation/Motion:

Motion: (i) Subject to due diligence and verification of insurance, bonds and other obligations outlined in the Special Conditions, authorize the General Manager to find the bid from Silicon Valley Paving, Inc. to be responsive and responsible; (ii) accept the bid amount of \$156,700 and establish a contract contingency in the amount of 10% of the contract amount for unanticipated additional expenses associated with the contract and authorize the General Manager to issue change orders up to the contingency amount.

Policy Implications:

Consistent with the San Mateo County Harbor District's (District) goal to provide a clean, safe, and well managed marina, as these parking are in very poor condition and require repair.

Fiscal Implications/Budget Status:

No new fiscal impact, as the approved FY17/18 Budget allots \$200,000 for this project.

Background/Discussion:

The existing Pillar Point Harbor Parking Lots A2 (Approximately 31,300ft², 97 Single Spaces, 4 Accessible) and A3 (Approximately 39,500ft², 78 Single Spaces, 4 Accessible) (See *Figure 1*) are in poor condition, and need to be repaired (See *Figures 2, 3, 4, & 5*). It should be noted that the minimum requirement for the number of ADA Accessible Parking Spaces is met in both parking lots per ADA Standards for Accessible Design 4.1.2 (See *Figure 6*). If required, all Accessible spaces will be brought up to the most current and stringent ADA standards as necessary including but not limited to space width, striping, signage, and sidewalk transitions.

There are numerous cracks in the existing lots with some large sections of damage due to fatigue cracking (See Figure 7). Site work for this project includes traffic control, paint removal, filling small cracks (See Figure 8), marking and saw cutting larger defective areas (See Figure 9), cleaning out cut holes, application of tacking materials, placing and compacting repair mix, and cleaning up repair sites. The existing trench which runs through both lots also has signs of cracking and will be repaired as well (See Figures 10 & 11). Following the repairs of both lots, the contractor will slurry seal, paint, and stripe the parking lots to match existing.

Figure 1 Existing Conditions



Figure 2 – Existing Conditions



Figure 3 Existing Conditions

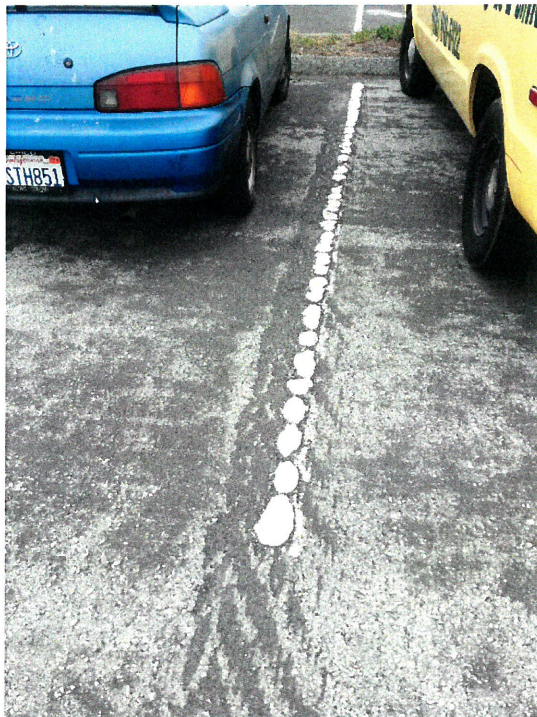


Figure 4 Existing Conditions



Figure 5 Existing Conditions



Figure 6 Minimum Number of Accessible Parking Spaces

Minimum Number of Accessible Parking Spaces ADA Standards for Accessible Design 4.1.2 (5)			
Total Number of Parking spaces Provided (per lot)	Total Minimum Number of Accessible Parking Spaces (60" & 96" aisles)	Van Accessible Parking Spaces with min. 96" wide access aisle	Accessible Parking Spaces with min. 60" wide access aisle
	Column A		
1 to 25	1	1	0
26 to 50	2	1	1
51 to 75	3	1	2
76 to 100	4	1	3
101 to 150	5	1	4
151 to 200	6	1	5
201 to 300	7	1	6
301 to 400	8	1	7
401 to 500	9	2	7
501 to 1000	2% of total parking provided in each lot	1/8 of Column A*	7/8 of Column A**
1001 and over	20 plus 1 for each 100 over 1000	1/8 of Column A*	7/8 of Column A**

* one out of every 8 accessible spaces ** 7 out of every 8 accessible parking spaces

Figure 7 Example of Fatigue Cracking



Figure 8 – Small Cracks to Fill



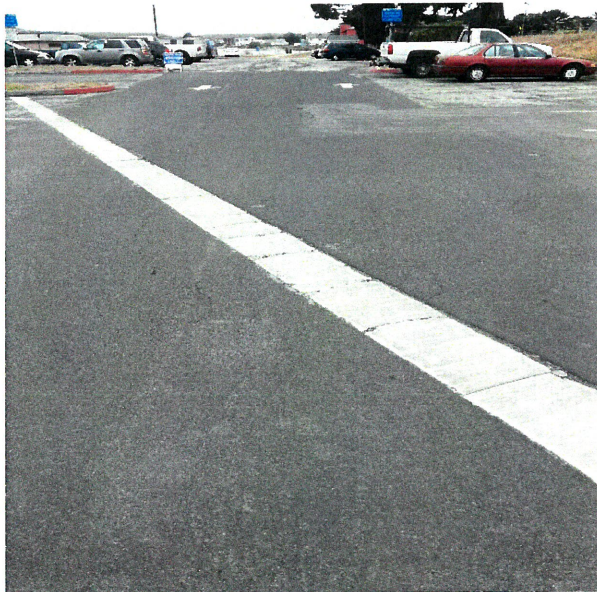
Figure 9 - Large Defective Areas to be Repaired



Figure 10 - Existing Trench



Figure 11 - Existing Trench Cracking



The Project Invitation for Bid was publicized on September 6, 2017. The District received four bids on October 11, 2017 from the following contractors who attended the mandatory Pre-Bid Conference and Site Walk held on September 20, 2017; American Asphalt, Golden Bay Construction, Silicon Valley Paving, Inc., and Tri-Valley Excavating. The responsive bids were \$156,820, \$205,674, \$156,700, and \$169,452 respectively. Silicon Valley Paving, Inc. was found to be the lowest responsible bidder.

Summary/Recommendation:

Staff recommends the Board authorize the General Manager to; (i) find the bid from Silicon Valley Paving, Inc. to be responsive and responsible; (ii) accept the bid amount of \$156,700 and establish a contract contingency in the amount of 10% of the contract amount for unanticipated additional expenses associated with the contract and authorize the General Manager to issue change orders up to the contingency amount.

Attachments:

Silicon Valley Paving, Inc. Pillar Point Harbor Parking Lot A2/A3 Repair Bid Form

SAN MATEO COUNTY HARBOR DISTRICT

CONTRACT NO. 2017-14
Pillar Point Harbor Parking Lot "A2/A3" Repair

BID FORM

TO: SAN MATEO COUNTY HARBOR DISTRICT
EL GRANADA, CA

Pursuant to the Notice Inviting Bids, the undersigned bidder herewith submits a bid on the bidding form or forms attached hereto and made a part hereof, and binds itself on award by the San Mateo County Harbor District under this bid to execute a contract in accordance with its bid, the bid documents and the award. The attached Notice Inviting Bids, General Conditions and Instructions for Bidders, Special Provisions, Technical Specifications, Bid Forms, and Addenda, if any, are made a part of this bid and all provisions thereof are accepted, and all representations and warranties required thereby are hereby affirmed.

Bids below include all applicable charges, including labor, insurance, bonding, and other costs necessary for the furnishing of all equipment and the performance of all services called for under the Contract. Prices quoted shall include all sales or use taxes.

BIDDER SHALL SUBMIT QUOTES FOR ALL ITEMS

CONTRACT NO. 2017-14
Pillar Point Harbor Parking Lot "A2/A3" Repair

Per Addendum #1 - Option #2

LINE #	ITEM #	DESCRIPTION	AMOUNT
1	Task 1	Clear dirt and debris from both A2 and A3 parking lots, remove existing paint, prepare all cracked surfaces for repairs	\$ 98,500.00
2	Task 2	Fill all defective asphalt, remove and repair all fatigue cracking, remove all loose material, slurry and seal both lots	\$ 28,000.00
3	Task 3	Prepare both lots for paint and striping to match existing	\$ 30,200.00
4		TOTAL BID PRICE	\$ 156,700.00

The Bid Form must be signed below in accordance with the General Conditions and Special Provisions. Bids submitted in any other form will be considered non-responsive and may be rejected.

Silicon Valley Paving, Inc.